

## II. Board of Zoning Appeals (Does not include outside City appointments)

- b. Public Hearing to receive comments on a variance request to decrease the setbacks in an R-2 single-family dwelling district at 1222 North 2<sup>nd</sup> Street.

Details:

Site Address:	1222 North 2 <sup>nd</sup> Street
Legal Description:	Lot 33 & 34 Belmont Addition, City of Independence, Montgomery County, Independence.
Property Owner:	Hentges, Stephanie L Amended & Restated Rev Trust 5/24/2018
Existing Use:	Residence
Existing Zoning:	R-2, single-family dwelling district

Background/History: Mr. and Mrs. Hentges own the property and have been working with Miranda Bruening from HBK Architecture to build a new garage.

Request:

Mr. and Mrs. Hentges want to place a detached garage within two (2) foot from the south side yard property line and the neighbor's garage. This would be a six (6) foot encroachment. The residence had an existing garage, but it was not structurally sound, and they tore it down. They now want to build a new, deeper garage in the same place the old garage was in with the same two (2) foot between their garage and the neighbor's garage.

Policy Explanation:

### **03.0. - R-2, single-family dwelling district.**

*503.1. Intent:* The purpose of this district is to provide for single-family residential development of low population density together with such public buildings, schools, churches, public recreational facilities and accessory uses, as may be necessary or are normally compatible with residential surroundings.

*503.2. Permitted uses:* The listing of permitted uses is set out in appendix "A" of these regulations.

*503.3. Conditional uses:* The listing of conditional uses is set out in appendix "A" of these regulations.

*503.4. Intensity of use regulations:*

a. *Minimum lot area:* Single-family dwellings—7,200 square feet

*Exception:* Where a use is not connected to a public sewer, lot area shall be increased to area determined as adequate by the city engineer to meet current health standards.

b. *Minimum lot width:* 50 feet at the front building line, except cul-de-sac lots may be 35 feet at the front building setback line.

c. *Maximum lot coverage:* 30 percent.

*503.5. Height regulations:*

- a. *Maximum structure height:* 35 feet or 2½ stories (whichever is smaller).

*503.6. Yard regulations:*

a. *Minimum front yard:*

1. The front yard shall be a minimum of 25 feet in depth measured from the front lot line.
2. Where lots have a double frontage, the required front yard shall be provided on both streets.

b. *Minimum side yard:*

1. Interior side yards: Eight feet.
2. Where the side yard fronts on a street, the minimum front yard shall be provided.

c. *Minimum rear yard:* Ten feet.

*Exception:* On lots of irregular rear property lines or when residence is located on the lot at an angle, rear yard dimensions shall be taken at each end of building parallel to the sides and the perpendicular measurement taken from the rear of building to the furthest point of the lot. The average of these three measurements shall equal at least ten feet. However, in no case shall the building or structure be located less than eight feet perpendicular from any property line.

*503.7. Parking regulations:*

- a. *Off-street parking:* Two spaces for each single-family dwelling. (See article VII for additional parking requirements.)

***Variance:*** The granting of permission by the board of zoning appeals to allow the development of a lot or tract for uses allowed within the zoning district in a manner which exceeds maximum limits or is less than minimum limits established by these regulations and where such limits prohibit use of the land in a manner equivalent to the abutting similarly zoned properties.

**Sec. 2-116. - Variances, exceptions.**

When deemed necessary by the board of zoning appeals, the board may grant variances and exceptions from the zoning regulations on the basis and in the following manner:

1. To authorize in specific cases a variance from the specific terms of the regulations which will not be contrary to the public interest and where, due to special conditions, a literal enforcement of the provisions of the regulations, in an individual case, results in unnecessary hardship, and provided that the spirit of the regulations shall be observed, public safety and welfare secured, and substantial justice done. Such variance shall not permit any use not permitted by the zoning regulations in such district. A request for a variance may be granted in such case, upon a finding by the board that all the following conditions have been met:

In considering the providing of a variance we wish to provide the following information:

- a. *That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by any action or actions of the property owner or the applicant;* The previous garage was in the same location and is the only place a new garage would fit.
  - b. *That the granting of the permit for the variance will not adversely affect the rights of the adjacent property owners or residents;* The neighborhood has mostly detached garages similar to this residence.
  - c. *That the strict application of the provisions of the zoning regulations of which variance is requested will constitute unnecessary hardship upon the property owner represented in the application;* There is no other space on the property where a garage can be placed.
  - d. *That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare;* It does not appear that the variance will adversely affect public health, safety, morals, order, convenience, prosperity or general welfare.
  - e. *That granting the variance desired will not be opposed to the general spirit and intent of the zoning regulations. 503.6. Yard regulations: c. Minimum rear yard:* Ten feet. Granting the variance will not be opposed to the general spirit and intent of the zoning regulations. The previous garage was built in the same place and matches the neighborhood.
2. To grant exceptions to the provisions of the zoning regulation in those instances where the board is specifically authorized to grant such exceptions and only under the terms of the zoning regulation.

In no event shall exceptions to the provisions of the zoning regulation be granted where the use or exception contemplated is not specifically listed as an exception in the zoning regulation. Under no conditions shall the board of zoning appeals have the power to grant an exception when conditions of this exception, as established in the zoning regulation by the board of commissioners, are not found to be present.

**Staff Recommendation:** City Staff recommends approving the variance based upon staff recommendation of the evidence presented in each specific case that:

- a. The granting of the variance will not be detrimental to the public safety, health or welfare or injurious to other property or improvements in the neighborhood in which the property is located.
  1. There is no apparent issue with public safety, health or welfare.
- b. The conditions upon which the request for a variation is based are unique to the property for which the variation is sought, and are not applicable generally to other property.
  1. The new garage is going back in the same spot as the old garage.
- c. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations are carried out.
  1. The size of the old garage was too small for modern vehicles and was deteriorating.

2. The new garage will be deeper but in the same location as the previous garage.

Chairperson opens the hearing.

Public Comments:

Suggested Motion:

I move to approve the variance to reduce the south side yard setback from eight (8) feet to two (2) feet, based on the staff's recommendation that all City Codes and conditions are met.

Attachments:

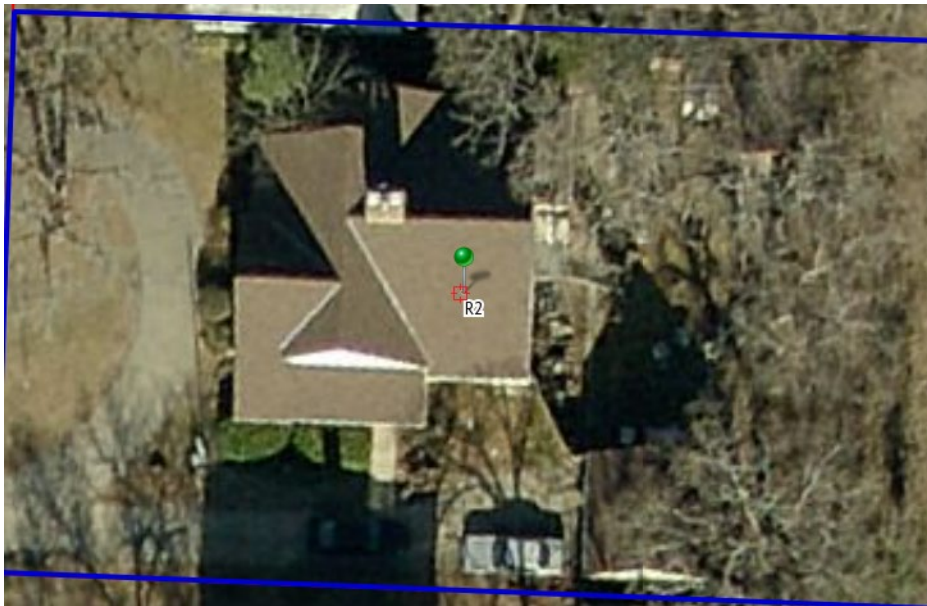
Property Location

Application

Surrounding Property Owners' Responses (if any)

Hearing Notice

Property Location:



**APPLICATION TO BOARD OF ZONING APPEALS**

**CITY OF INDEPENDENCE, KANSAS**

1. Date: 12/22/2021

2. Name, Address and Telephone Number of Property Owner:

David & Stephanie Hentges  
4413 Nicklaus Dr.  
Lawrence, KS 66047

3. I appoint the following person as my agent during consideration of my request:

Name: Miranda Bruening  
Address: P.O. Box 373 Independence, KS 67301  
Telephone: (620) 205-8487

4. Common Address of Land Involved:

1222 N. 2nd Street  
Independence, KS 67301

5. Legal Description of Land Involved:

6. Describe what you wish to do which the zoning code prohibits:

Place a detached garage within 2'-0" from the property line

7. The following condition(s), which were not created by the owner's actions, are unique to the property in question and are not commonly found in the same zone or district:

The original detached garage was/is currently at the same location; however, the garage overall size didn't allow for modern vehicles to be parked within it so a new deeper garage is required. Additionally the existing garage was structurally unsound so it had to be demolished.

8. The proposed development would not adversely affect the rights of the adjacent property owners or residents because:

Because the proposed garage would not be any closer than what was there previously and will be more structurally sound.

9. The literal enforcement of the zoning regulations will result in the following unnecessary hardships:

The current setback requirements would push this structure too far north and would not allow for a detached garage. The neighborhood in question architectural styles consist of mostly detached garages abutting neighboring properties. While this garage will be slightly deeper than the neighboring garage it will not obstruct a view that wasn't already obstructed by the existing house.

10: The proposed development will not be contrary to the public health, safety, morals, or general welfare because:

The proposed plan intends to provide a similar set back to what already existed and is not asking for a zero setback.

11: The proposed development will not be contrary to the general spirit and intent of the zoning ordinance because:

The proposed plan intends to provide a similar set back to what already existed and is not asking for a zero setback.

12: Please attach a site plan showing the dimensions of the lot, the location of building (both existing and proposed), and the location of existing buildings on adjacent property.

If the space provided is not sufficient, the applicant may attach additional pages. The applicant also may submit any other pertinent information including photographs, drawings, maps, statistics, legal documents, and letters of support.

Signature of Property Owner: \_\_\_\_\_

*Munk Mung*  
*ON BEHALF OF OWNER*

Case Number: \_\_\_\_\_

Date Filed: \_\_\_\_\_

Fee Received: \_\_\_\_\_

Present Zoning: \_\_\_\_\_

City of Independence, Kansas

## **NOTICE TO THE PUBLIC**

The Independence, Kansas, Board of Zoning Appeals will conduct a public hearing on:

Tuesday, February 1, 2022, at 5:30 p.m.

To receive comments on a variance request to decrease the setbacks in an R-2 single-family dwelling district.

**Common Address:**

1222 N. 2<sup>nd</sup> Street

**Legal Description:**

Lot 33 & 34, Belmont Addition to the City of Independence, Montgomery County, Kansas.

**Applicant/Owners:**

David and Stephanie Hentges

**Case Number:**

2022/VAR/02

The hearing will be conducted in the Civic Center, Memorial Hall, Penn/Locust, Independence, Kansas, and will begin at 5:30 p.m. All interested persons should attend, and they will be heard. You may also participate via conference call: [+1 785-289-4727](tel:+1785-289-4727) Conference ID: 652 632 373# Persons wishing to comment, but who cannot attend this hearing, should provide their written comments to:

Kelly Passauer  
Zoning Administrator  
811 W Laurel Street  
Independence, KS 67301  
(620) 332-2506

Information regarding this application is available in the Zoning Administrator's office. If special accommodation is required, please inform the Zoning Administrator.

Kelly Passauer, Zoning Administrator

Application Date: 12/22/2021

Project Site Address: 1222 North 2nd Street Independence, MO 64502

Name: David & Stephanie H

Address: 4413 Nicklaus Dr La

Telephone: [REDACTED]

Email:

**Construction Type:** ☐ New Construction ☒ Addition ☐ Accessory Building

☒ Interior Renovation ☐ Exterior Renovation ☐ Duplex

☐ Townhouse ☐ Porch ☐ Addition to Garage ☒ Detach Garage

☐ re-roof/roofing – see roofing section ☐ Historical restoration

☐ Other

Project Construction Value: **\$350,000**

Total Square Footage of Project: **2460**

First Floor Square Footage: 1976

Second Floor Square Footage: na

Third Floor Square Footage: na

Unfinished Basement Square Footage: \_\_\_\_\_

Finished Basement Square Footage: \_\_\_\_\_

Garage Square Footage: 484

Number of Stories (if Applicable): 1

Total Project Height (if Applicable): \_\_\_\_\_

**Construction Details:**

Footing Type: ☐ Trench ☐ Pier ☒ Spread Footing

Footing Dimensions: 1' thick 2' wide Basement Wall Dimensions: 8" thick

Footing Depth: 3' Basement Wall Thickness: \_\_\_\_\_

Reinforcing system: rebar

Exterior Wall Framing Size: 2x6 Exterior Wall Framing Spacing: 16" o.c.

Exterior Wall Framing Material: wood Exterior Wall Sheathing: 1/2" thick

Exterior Wall Finish Material: LP Diamond

Interior Wall Framing Size: varies Interior Wall Framing Spacing: 16" o.c.

Interior Wall Framing Size: varies Interior Wall Framing Spacing: 16" o.c.

Floor Framing Size: \_\_\_\_\_ Floor Framing Spacing: \_\_\_\_\_

Roof Framing Size: \_\_\_\_\_ Roof Framing Spacing: \_\_\_\_\_

Roof Sheathing thickness: 5/8" Roofing Material: asphalt shingles

Driveway/Approach Material: concrete Paving Thickness: 4"

If there is a garage will it be attached? Yes ☐ No ☒

If yes will it be separated from the remainder of the living spaces by the appropriate fire separation barrier material and all penetration seal with approved fire sealant as well as all doors leading into the garage from the living spaces be of the appropriate fire rating and installed in the appropriate manner?

Yes ☐ No ☐

Will the basement be finished?

Yes ☐ No ☐

If yes will all sleeping and living spaces have an egressable window installed according to code and with the appropriate exiting devices to allow the occupants to egress from the basement?

Yes ☐ No ☐

**Roofing/Re-Roof:**

**Will this project be one of the following:**

☐ Overlay ☒ Total Tear off

If overlay have cores to the roof been taken, and if so have they been given to the building inspector:

Existing roofing system thickness/number of layers: 2

Note: Total tear off is required where the existing roof has two or more applications of any type of roof covering ( See International Residential Building Code 2016 Section R907.3.3

☐ No ☐ Yes ☐ Yes but cores have not been given to the building inspector ☐ New Construction

Project Description:

Remove existing shingles on original house and install new laminated architectural shingles over weather barrier

**Roof Drainage:**

☐ existing gutters & downspouts ☒ new gutters and downspouts ☐ existing scuppers ☐ new scuppers

**Historical:**

What type of project:

☐ Complete exterior rehabilitation ☐ masonry tuck pointing ☐ window rehabilitation ☐ stucco rehabilitation ☐ wood rehabilitation ☐ roofing rehabilitation including gutters and downspouts or scuppers ☐ storefront rehabilitation ☐ Complete interior rehabilitation ☐ plaster rehabilitation ☐ wood rehabilitation ☐ door, frame and hardware rehabilitation ☐ millwork rehabilitation ☐ stucco rehabilitation ☐ stucco rehabilitation ☐ stucco rehabilitation

Will this project be funded by an historical grant or will it be seeking historical tax credits?

☐ No ☐ Yes

Explain:

If this project is using historical grants or applying to tax credits please reference the historical section at the end of the permit. Additionally, the historical review process will extend the review process by up to 2 weeks. If you have already submitted your project to the Kansas State Historical office for approval and have received approval, please attach the letter from the State.

**Project Contractor/General Contractor:**

Name: Miranda Bruening City License Number: \_\_\_\_\_

Company Name: HBK Architectur

Firm Address: P.O. Box 373

Independence, KS 67301

Telephone: (620) 205-8487

Email: miranda@hbkarch.com

**Sub-Contractor Information:**

Concrete Name: \_\_\_\_\_ Independence License No. \_\_\_\_\_

Framing Name: \_\_\_\_\_ Independence License No. \_\_\_\_\_

Electrical Name: Blankinship El Independence License No. \_\_\_\_\_

Plumbing Name: Eric's Plumbing Independence License No. \_\_\_\_\_

Mechanical Name: Independence Independence License No. \_\_\_\_\_

Other Name: \_\_\_\_\_ Independence License No. \_\_\_\_\_

**Design Professionals (if applicable):**

Architect: HBK Architecture Kansas License Number: \_\_\_\_\_

Firm Address: P.O. Box 373

Independence, KS 67301

Telephone: (620) 205-8487

Email: miranda@hbkarch.com

**Structural Engineer:**\_\_\_\_\_ **Kansas License Number:**\_\_\_\_\_

Firm Address:\_\_\_\_\_

\_\_\_\_\_

Telephone:\_\_\_\_\_

Email:\_\_\_\_\_

**Mechanical Engineer:**\_\_\_\_\_ **Kansas License Number:**\_\_\_\_\_

Firm Address:\_\_\_\_\_

\_\_\_\_\_

Telephone:\_\_\_\_\_

Email:\_\_\_\_\_

**Electrical Engineer:**\_\_\_\_\_ **Kansas License Number:**\_\_\_\_\_

Firm Address:\_\_\_\_\_

\_\_\_\_\_

Telephone:\_\_\_\_\_

Email:\_\_\_\_\_

**Plumbing Engineer:**\_\_\_\_\_ **Kansas License Number:**\_\_\_\_\_

Firm Address:\_\_\_\_\_

\_\_\_\_\_

Telephone:\_\_\_\_\_

Email:\_\_\_\_\_

**Checklist of Required Submittals & Drawings:**

Documents Required	New Construction	Addition	Remodeling Interior	Remodel Exterior	Repairs	Accessory Building
Application Form	X	X	X		X	X
Fire Code Footprint						
Floor Plan	X	X	X		X	
Site Plan with Utilities	X	X				X
Elevation Drawings - exterior	X	X				
Civil Plans & Details						
Structural Plans & Details						
Mechanical Plans & Details	X	X				
Electrical Plans & Details	X	X	X			
Plumbing Plans & Details	X	X	X			
Construction Details						

**Minimum Information to be included on drawings:**

**Site Plan:** A graphic representation of the property indicating but not limited to the following: property lines, property size (to scale or dimensions shown), North arrow, adjacent street(s), location of existing improvements, proposed construction, setback dimensions from property lines, water service, sewer lines, electrical lines, gas lines, other utilities, any easements, paving, curb cuts, grading & drainage.

**Floor Plan:** Plans shall be drawn to scale with dimensions shown, showing walls, doors, windows, construction types, all floor levels. Note all fire rated partitions, rated doors, safety window glazing, stairway.

**Elevation Drawings:** Illustrate the building front, sides & rear views.

**Electrical Plan:** Indicate the location and size of the (new) electrical service and describe the (new) panelboard.

**Plumbing Plan:** Indicate the sanitary sewer location exiting the construction and the tie to the existing system (if applicable) with cleanout locations. Indicate the water service line location, size and the tie to existing system (if applicable).

**Documents Required for Permit:** In addition to the permit form the applicant will provide to the city a minimum three (03) sets of required drawings. Additionally, an electronic PDF version of the documents shall be submitted at the time of the application or emailed directly to the Code official within 5 days of the permit application. The PDF versions can be provided at the time the permit is submitted or by email. If provided at the time of the submittal they should be placed on a CD or removable media

thumb drive. If provided in this manner the CD and/or the thumb drive will remain with the code official and not be returned.

**Election to Do Own Work:**

Agreement for unlicensed, uncertified person to do their own work on an owner-occupied dwelling.

In accordance with the above referenced Building Code, I, \_\_\_\_\_ Hereby request authorization to do my own work on a one or two family dwelling, located 4413 Nicklaus Dr La \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_, Subdivision \_\_\_\_\_, which is existing or in the process of being newly constructed.

It is understood and I agree that this authorization is contingent on the fact that I shall personally purchase all materials to be used, in this work, and I shall personally perform all labor in connection therewith. It is further understood and agreed that as permittee and/or Owner, I shall not allow any person to do or cause to be done and work under a permit secured myself, unless such person is a licensed, certified and bonded contractor or master contractor of the said type of work performed.

I hereby certify that all work, for which this application is submitted, will be done in accordance with the terms of the above agreement and in accordance with the Codes and Laws of the City of Independence, Kansas.

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***Signature***

***Date***

Exclusions of Owner Performed work:

1. The Following are area of work that cannot be performed by an Owner, these items will need to be performed by a licensed contractor of that particular trade:
2. Installation of gas lines and connects thereof to any heating appliance and or cooking appliance.
3. Installation of a permanent heating appliance (regardless of what type)
4. Installation of an electrical service panel, disconnect or electrical service entrance.
5. Main electrical branch and secondary branch circuits. Wiring may be installed by the owner; however, a licensed electrician shall make all connections within the electrical panel, disconnects, receptacles and switches. All connections shall be certified by said electrician shall be provided to the Building Inspections Department.

**Required Inspections:**

The following inspections are required for residential construction projects within the City of Independence. When your project is ready for an inspection, you may call (620) 332-2541, before 4:00PM the day prior to that requested for the inspection.

## General Construction

<b>DW</b> (Driveway)	An inspection performed to verify that driveways, sidewalks and curb cuts are constructed in conformance with City code and ordinance.
<b>FRM</b> (Framing)	An inspection of structural components and connections, lumber size and load bearing, and egress window sizes, prior to sheetrock installation.
<b>FTG</b> (Footings)	Footings Inspection check the type and bearing of foundations, reinforcement, clearance and location on the property.
<b>FBI</b> (Final Building Inspection)	A final building inspection to verify all components are in place and operating as intended.
<b>FFD</b> (Final Fire Department)	A final inspection by the Fire Department to verify Local and State requirements for fire safety, detectors, hazardous materials, alarm systems, fire escapes, means of egress and maintenance of fire protection devices.

## Plumbing Construction

<b>CCI</b> (Cross Connection Inspection)	An inspection to verify correct installation of the backflow prevention devices used on the potable water systems.
<b>GL</b> (Gas Line)	A visual inspection of the gas line and connection to the meter. This inspection is done by the gas utility and coordinated by the plumbing sub-contractor.
<b>RIP</b> (Rough-in Plumbing)	This is an inspection of the underground DWV (Drain, Waste and Vent) and water supply, 50#PSI on the water supply, 5#PSI air or 10-foot head on DWV system.
<b>SWR</b> (Sewer)	This inspection is a visual inspection of the sewer line in place from the cleanout to the tap at the city main.

<b>FP (Final Plumbing)</b>	A final inspection after all fixtures are installed and connected.
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## **Electrical Construction**

<b>TP (Temporary Power)</b>	This inspection is for temporary power poles installed at job sites and/or job trailers for construction and is to assure pole is strong enough to withstand wind or weather, and GFCI protected.
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<b>PS (Permanent Service)</b>	A visual inspection of the installation or upgrade of the electrical supply system to a residence typically at the service entrance.
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<b>RIE (Rough-in Electric)</b>	An inspection of the installation of boxes, conduit, cable, conductors, etc. prior to the covering by wallboard, concrete, masonry or earth. This must be done for anything that will not be visible upon completion of the project.
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<b>FE (Final Electrical)</b>	An inspection that insures all fixtures, devices, equipment and panelboards are installed and operating correctly.
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## **Mechanical Construction**

<b>RIM (Rough-in Mechanical)</b>	An inspection of the ductwork, panning, flues, combustion air, and all items that will be covered by drywall or ceilings.
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<b>FM (Final Mechanical)</b>	A final inspection after all final connections are made and grilles are in place. The system shall be operational.
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## **Site Construction**

<b>SPA (Site Plan Approval)</b>	Inspection includes location of construction on property, identification of easements, setbacks, landscaping, sidewalks, pavement, and grading.
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<b>STW (Storm Water)</b>	An inspection to verify compliance with storm water regulations and control of excess storm water drainage, retention and dispersal.
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**Adopted Codes:**

2012 International Building Code (Resolution 4259 adopted 12/14/2017)  
2012 International Existing Building code (Resolution 4266 adopted 12/14/2017)  
2012 International Residential Code (Resolution 4258 adopted 12/14/2017)  
2012 Uniform Plumbing Code (Resolution 4261 adopted 12/14/2107)  
2012 International Mechanical Code (Resolution 4267 adopted 12/14/2017)  
2012 Uniform Swimming Pool, Spa & Hot Tub Code (Resolution 4262 adopted 12/14/2017)  
2011 National Electric Code (Resolution 4260 adopted 12/14/2017)  
2010 ADA

**Minimum Design Standards:**

Wind Speed: 115 mph  
Ground Snow Load: 15 lbs  
Seismic Design Category: B  
Frost Line Depth: 32"

**Historical Standards:**

Secretary of the Interiors Standards for Rehabilitation

<https://www.nps.gov/tps/standards/rehabilitation/rehabilitation-guidelines.pdf>

Additional Preservation and Rehabilitation information can be found at the following web address

<https://www.nps.gov/tps/education/free-pubs.htm>

## **Important Contact Information:**

### **City Contacts:**

**Planning & Zoning:** Zoning, setbacks, site plan review, landscaping, signage, parking, paving & subdivision regulations.

Kelly C. Passauer, CPM  
Assistant City Manager/Zoning Administrator  
City Hall  
811 W. Laurel St.  
Independence, KS 67301  
(620) 332-2506  
[kellyp@independencesks.gov](mailto:kellyp@independencesks.gov)

**Fire Department:** Exiting, smoke detectors, sprinkler system and fire alarms

Shawn Wallis  
Fire Chief  
City Hall  
811 W. Laurel St.  
Independence, KS 67301  
(620) 332-2504  
[shawnw@independencesks.gov](mailto:shawnw@independencesks.gov)

**Utility Department:** Water and sewer taps, fees and scheduling

Terry Lybarger  
Director of Utilities  
City Hall  
811 W. Laurel St.  
Independence, KS 67301  
(620) 332-2542  
[terryl@independencesks.gov](mailto:terryl@independencesks.gov)

**Building Inspections:** Building Inspections for new construction, renovations, additions, landlord/tenant

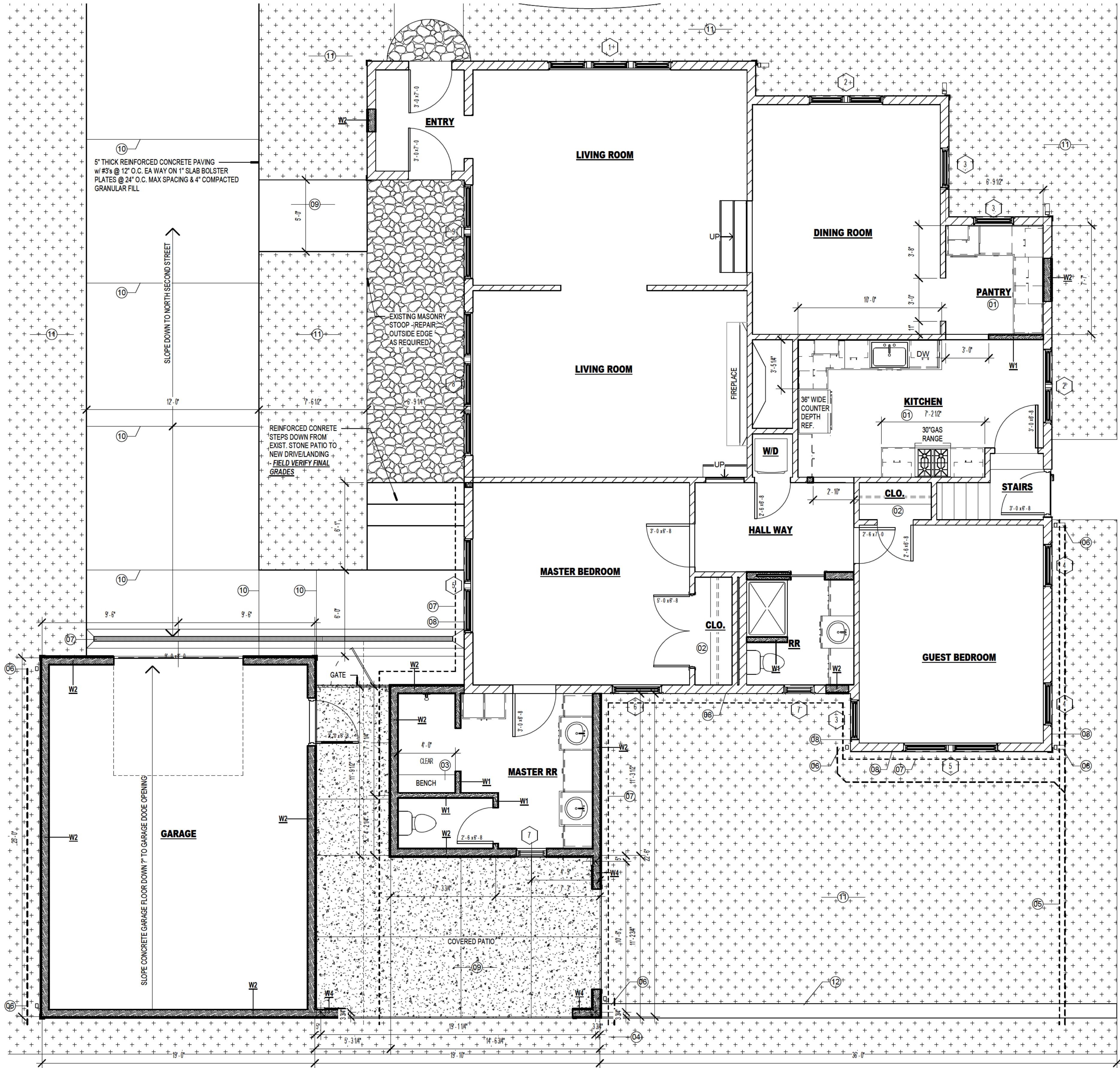
Don Cushing  
Building Inspector  
City Hall  
811 W. Laurel St.  
Independence, KS 67301  
(620) 332-2541 Office  
(620) 205-7166 cell  
[inspector@independencesks.gov](mailto:inspector@independencesks.gov)

**Private Utilities Contacts**

<b>Agency</b>	<b>Contact Person</b>	<b>Phone</b>
Westar Energy	Joann Evans	(620) 332-2625
Atmos Energy	Ryan Collett	(620) 331-1547
AT&T	Business Support	888-944-0447
Cable One	Business Support	877-570-0500

# RENOVATION AND ADDITION TO A RESIDENCE FOR: DAVID AND STEPHANIE HENTGES

1222 N. 2ND ST.  
INDEPENDENCE, KS 67301



NEW CONSTRUCTION FLOOR PLAN

1/4" = 1'-0"

## FLOOR PLAN GENERAL NOTES:

- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS & AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE PROJECT & THE ORDERING OF MATERIALS.
- CONTRACTOR MUST COMPLY WITH ALL RULES & REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE & FEDERAL CONSTRUCTION, SAFETY & SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS & CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DRAWINGS WERE COMPILED USING THE 2012 INTERNATIONAL BUILDING CODE.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTALLATION GUIDE, BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, BUILDING CODES, STATUTES OR ORDINANCES.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE & IN PROPER ALIGNMENT.
- ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS & EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK. REPAIR ANY EXISTING MATERIAL OR EQUIPMENT DAMAGED BY THESE OPERATIONS.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE PICKED UP & CLEANED DAILY OF ALL CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS & THOROUGHLY CLEAN.
- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS & QUANTITIES.
- ALL DIMENSIONS ARE FACE OF EXISTING WALL TO CENTERLINE OF NEW WALLS UNLESS OTHERWISE NOTED.
- ALL FINISHES ARE CHOSEN BY OWNER.
- ALL APPLIANCES ARE CHOSEN BY OWNER.

## WALL TYPE GENERAL NOTES:

- MATCH EXISTING WALL THICKNESS WHERE PROVIDING WALL FRAMING INFILL IN EXISTING WALLS (FIELD VERIFY)
- PROVIDE NECESSARY BLOCKING, CONCEALED WITHIN THE CONSTRUCTION, AS REQUIRED FOR ANY AND ALL ITEMS THAT MUST BE SECURED TO THE WALL. VERIFY LOCATIONS WITH OWNER.

## WALL TYPES:

- W1** 2X4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON EACH SIDE. WHERE SHOWN IN WET LOCATION, USE CONCRETE BOARD FOR TILE INSTALL.
- W2** 2X6 WOOD STUDS @ 16" O.C. WITH R19 MIN. BATT INSULATION AND 5/8" GYPSUM BOARD INTERIOR SIDE. EXTERIOR TO LP SMARTSIDE SHAKER PANELS OVER WEATHER BARRIER OVER SHEATHING.
- INFILL WALL LOCATIONS: MATCH EXISTING WALL THICKNESS
- W3** 2X4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON EACH SIDE. WHERE SHOWN IN WET LOCATION, USE CONCRETE BOARD FOR TILE INSTALL.
- W4** 2X6 WOOD STUDS @ 16" O.C. WITH CEDAR SHAKE SHINGLE SIDING ON WEATHER BARRIER OVER SHEATHING.

## FLOOR PLAN KEYNOTES

#	KEYNOTE
01	UPPER AND LOWER CABINETS FOUND IN KITCHEN AND PANTRY. UPPER CABINETS WILL BE CEILING HIGH. NO SOFFITS.
02	CLOSET SHELF AND ROD
03	18 INCH HIGH AND DEEP BUILT-IN SHOWER BENCH IN MASTER BATHROOM
04	4" DIAMETER DRAIN LINE FROM POLYCAST TRENCH DRAIN. SLOPE TO DAYLIGHT & TERMINATE w/ SCREEN GRATE
05	4" DIAMETER DRAIN LINE FROM POLYCAST TRENCH DRAIN. SLOPE TO DAYLIGHT & TERMINATE w/ SCREEN GRATE
06	CONNECT DOWNSPOUT TO UNDERGROUND DRAIN LINE SLOPE TO DAYLIGHT w/ GRATE AT END.
07	POLYCAST TRENCH DRAIN w/ CAST IRON GRATE & SLOPED BOTTOM TO 4" DIAMETER DRAIN LINE
08	FLUID APPLIED WATERPROOFING MEMBRANE APPLIED TO SURFACE OF FOUNDATION & COVERED w/ MIRADRRAIN BOARD
09	4" THICK REINFORCED CONCRETE w/ #3s @ 8" O.C. ON 4" COMPACTED GRANULAR FILL
10	SAWCUT JOINT w/ TRAFFIC SEALANT - 120sf MAXIMUM PANEL SIZE ON DRIVE WAY 25sf MAXIMUM PANEL SIZE ON SIDEWALKS & PATIO
11	4" DIAMETER DRAIN LINE FROM POLYCAST TRENCH DRAIN. SLOPE TO DAYLIGHT & TERMINATE w/ SCREEN GRATE
12	12" THICK REINFORCED CONCRETE RETAINING WALL

## SQUARE FOOTAGE:

EXISTING SQUARE FOOTAGE: 1804 S/F  
MASTER BATH ADDITION: 172 S/F  
GARAGE ADDITION: 484 S/F



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## FLOOR PLAN

MANAGER

MDB

DRAWN BY

AF

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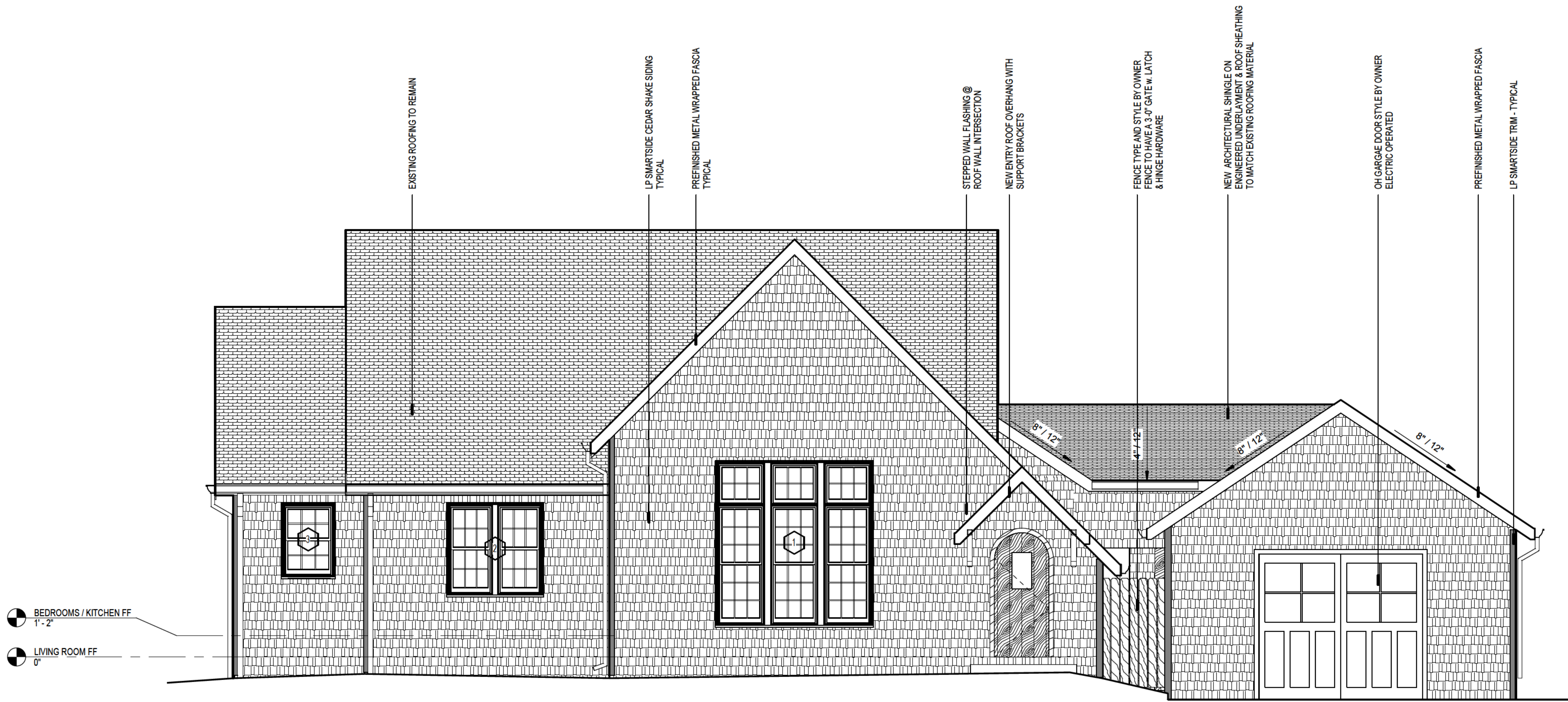
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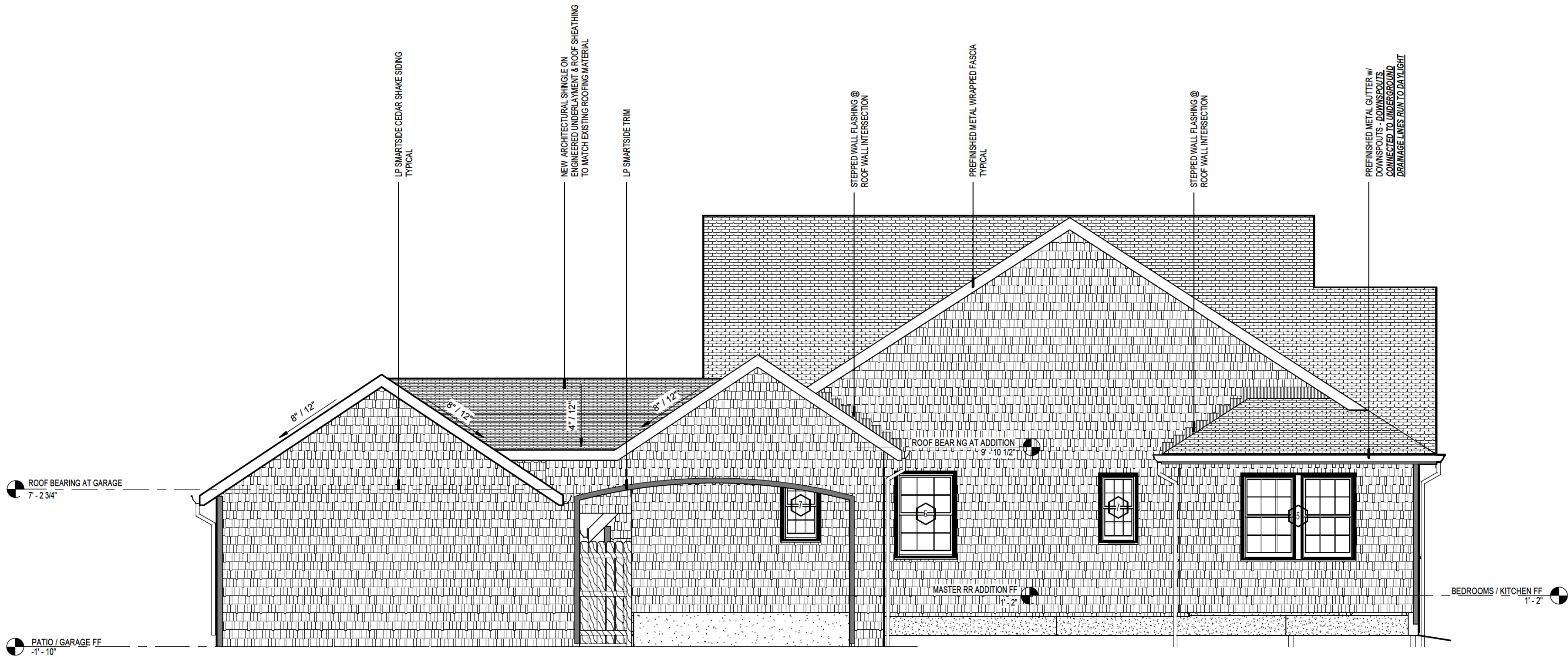
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A1



**1 WEST EXTERIOR ELEVATION**

1/4" = 1'-0"



**2 EAST EXTERIOR ELEVATION**

1/4" = 1'-0"

**EXTERIOR GENERAL NOTES:**

1. SIDING TO BE LP SMARTSIDE CEDAR SHAKE STYLE. COLOR TBD. USE APPROPRIATE TRIM PEICES AS RECCOMENDED BY MANUFACTURER.
2. FASCIA TO BE A WRAPED PREFINISHED METAL. INSTALL PROPER DRIP EDGE AND FLASHING FOR ROOF INTEGRATION.
3. SOFFIT TO BE VENTE
4. GUTTERS AND DOWNSPOUTS TO BE 6X6 PREFINISHED TO MATCH FASCIA COLOR.
5. ALL GUTTERS AT REAR OF HOUSE TO TIE INTO UNDERGROUPD DRAINAGE PIPE AND DAYLIGHT TO THE EAST.
6. EXISTING ROOF TO REMAIN. NEW ASPHALT SHINGLES TO BE INSTALLED ON NEW ROOF TO MATCH EXISTING.  
BID ALTERNATE - NEW SHINGLES ON ENTIRE HOUSE



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**EXTERIOR  
ELEVATIONS**

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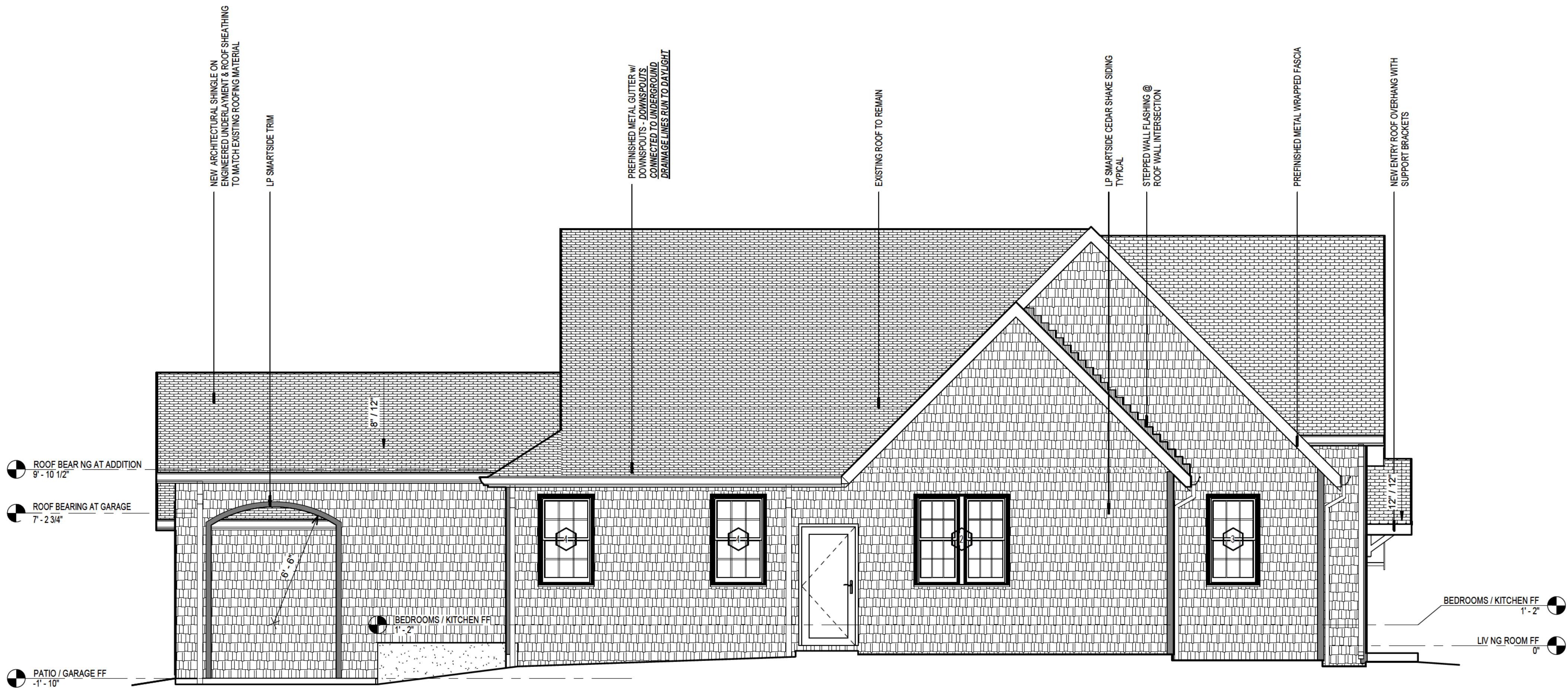
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**A2**



**1 NORTH EXTERIOR ELEVATION**

1/4" = 1'-0"



**2 SOUTH EXTERIOR ELEVATION**

1/4" = 1'-0"

**EXTERIOR GENERAL NOTES:**

1. SIDING TO BE LP SMARTSIDE CEDAR SHAKE STYLE. COLOR TBD. USE APPROPRIATE TRIM PEICES AS RECCOMENDED BY MANUFACTURER.
2. FASCIA TO BE A WRAPED PREFINISHED METAL. INSTALL PROPER DRIP EDGE AND FLASHING FOR ROOF INTEGRATION.
3. SOFFIT TO BE VENTE
4. GUTTERS AND DOWNSPOUTS TO BE 6X6 PREFINISHED TO MATCH FASCIA COLOR.
5. ALL GUTTERS AT REAR OF HOUSE TO TIE INTO UNDERGROUPD DRAINAGE PIPE AND DAYLIGHT TO THE EAST.
6. EXISTING ROOF TO REMAIN. NEW ASPHALT SHINGLES TO BE INSTALLED ON NEW ROOF TO MATCH EXISTING.  
BID ALTERNATE - NEW SHINGLES ON ENTIRE HOUSE



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**EXTERIOR ELEVATIONS**

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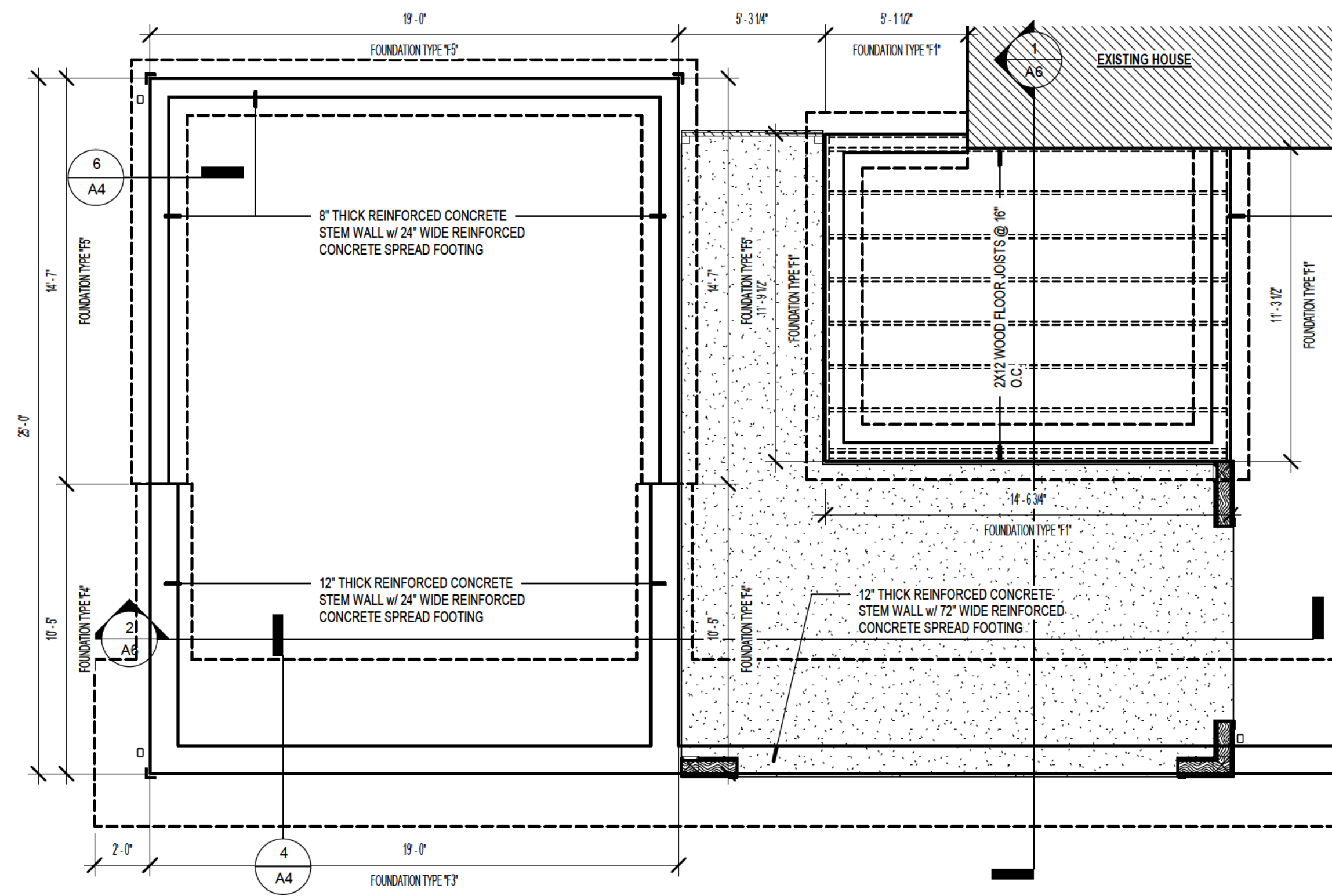
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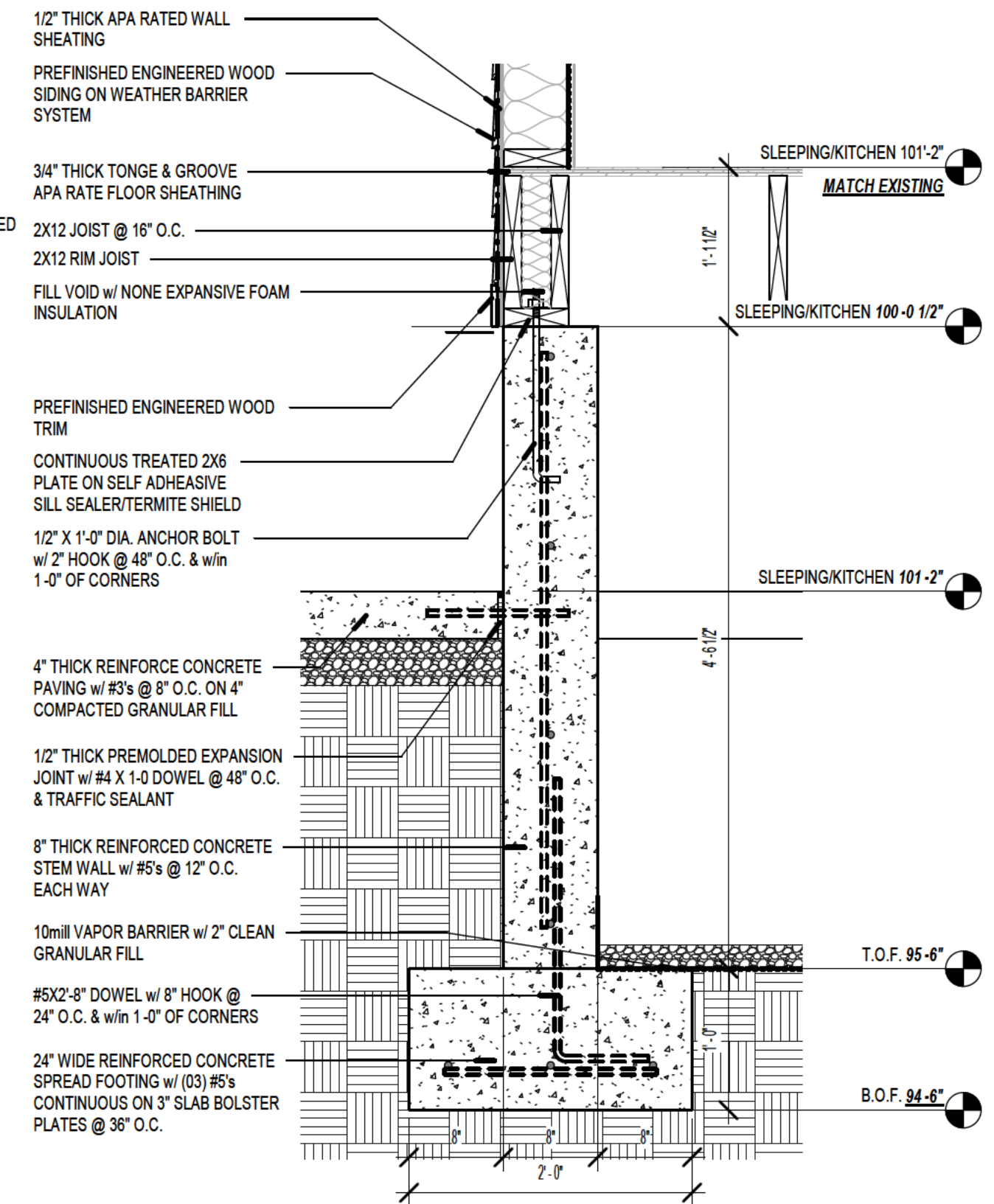
**A3**



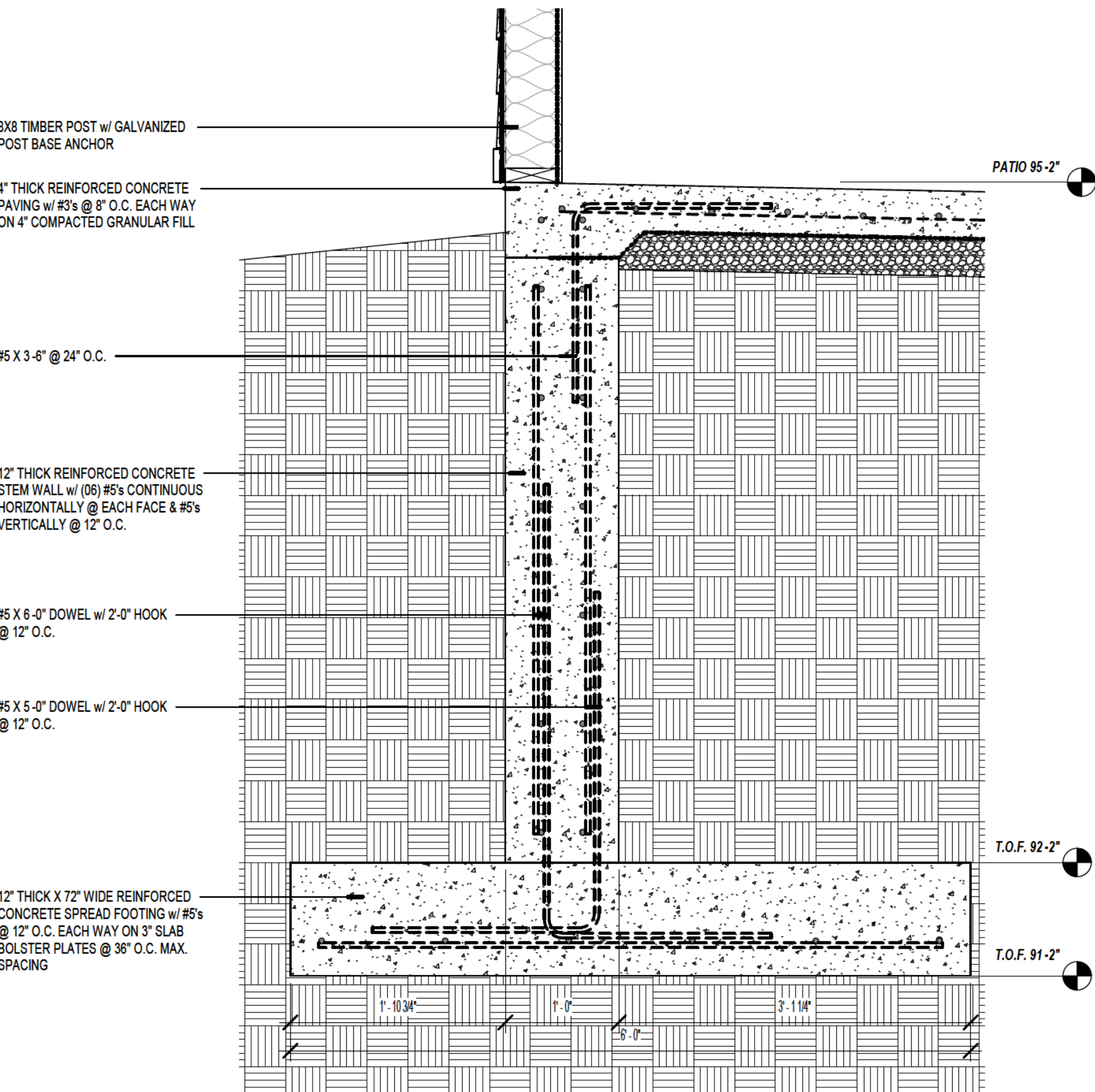
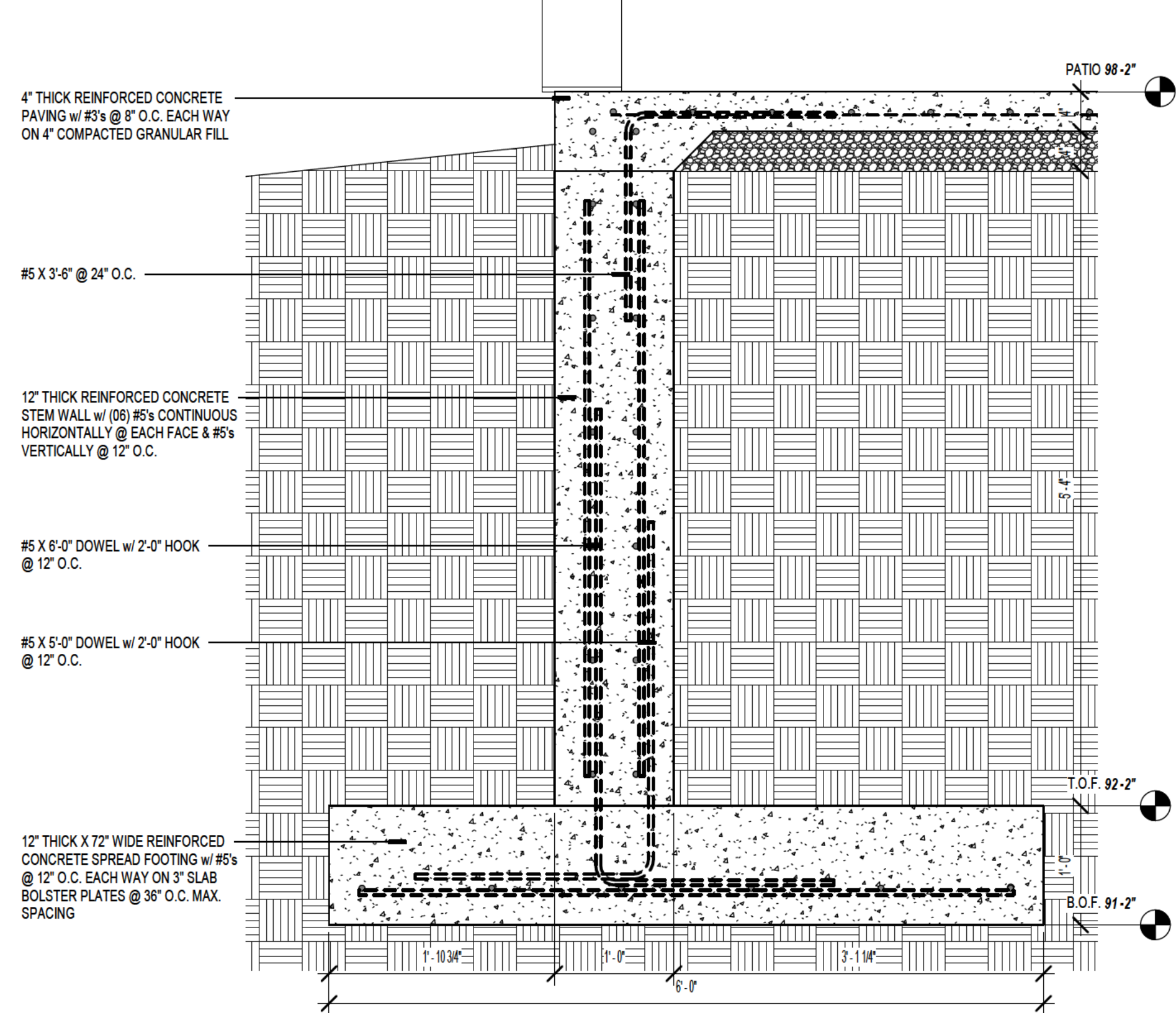
1 PLAN - FOUNDATION  
1/4" = 1'-0"



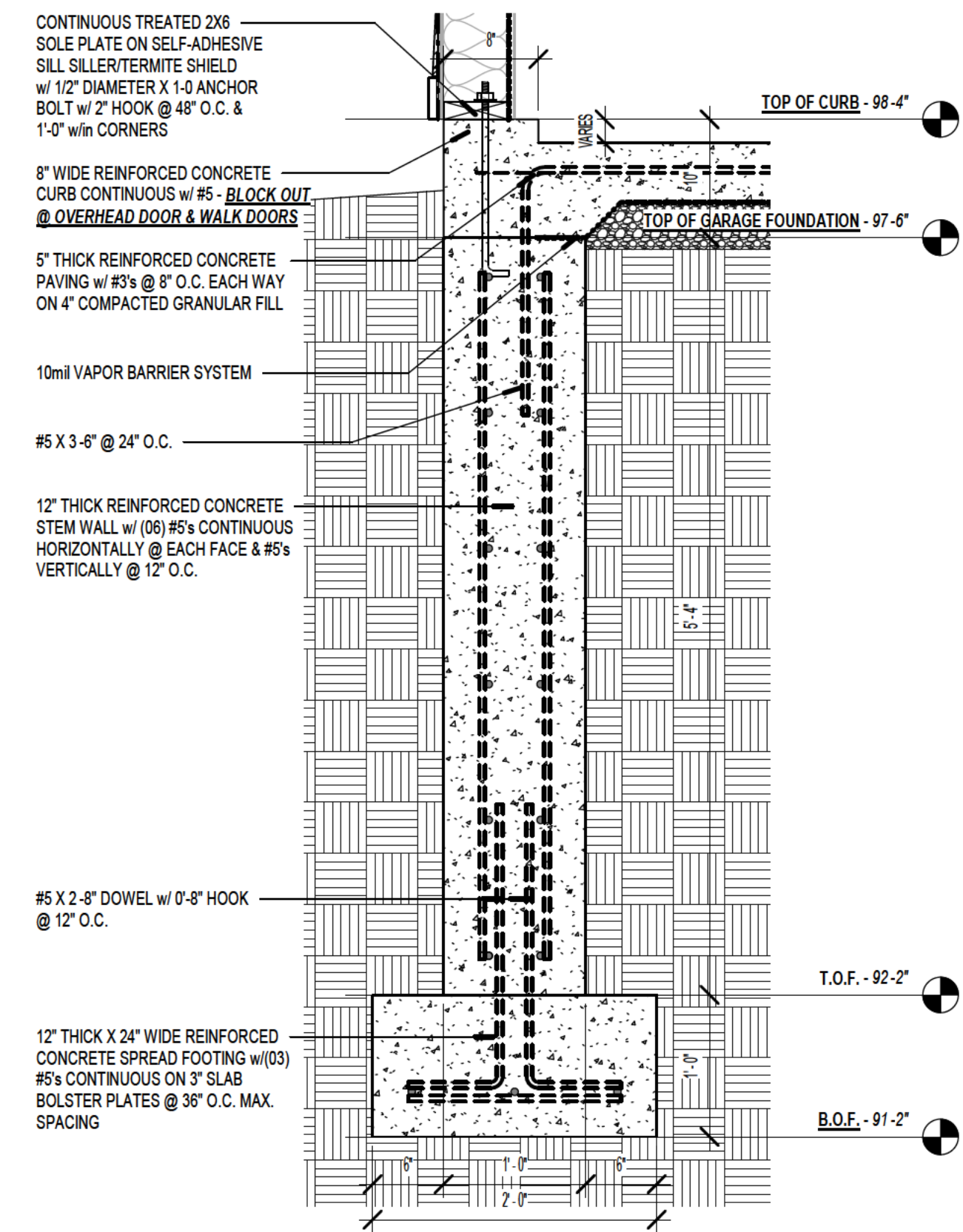
2 BATHROOM ADDITION FOOTING DETAIL - F1  
1" = 1'-0"



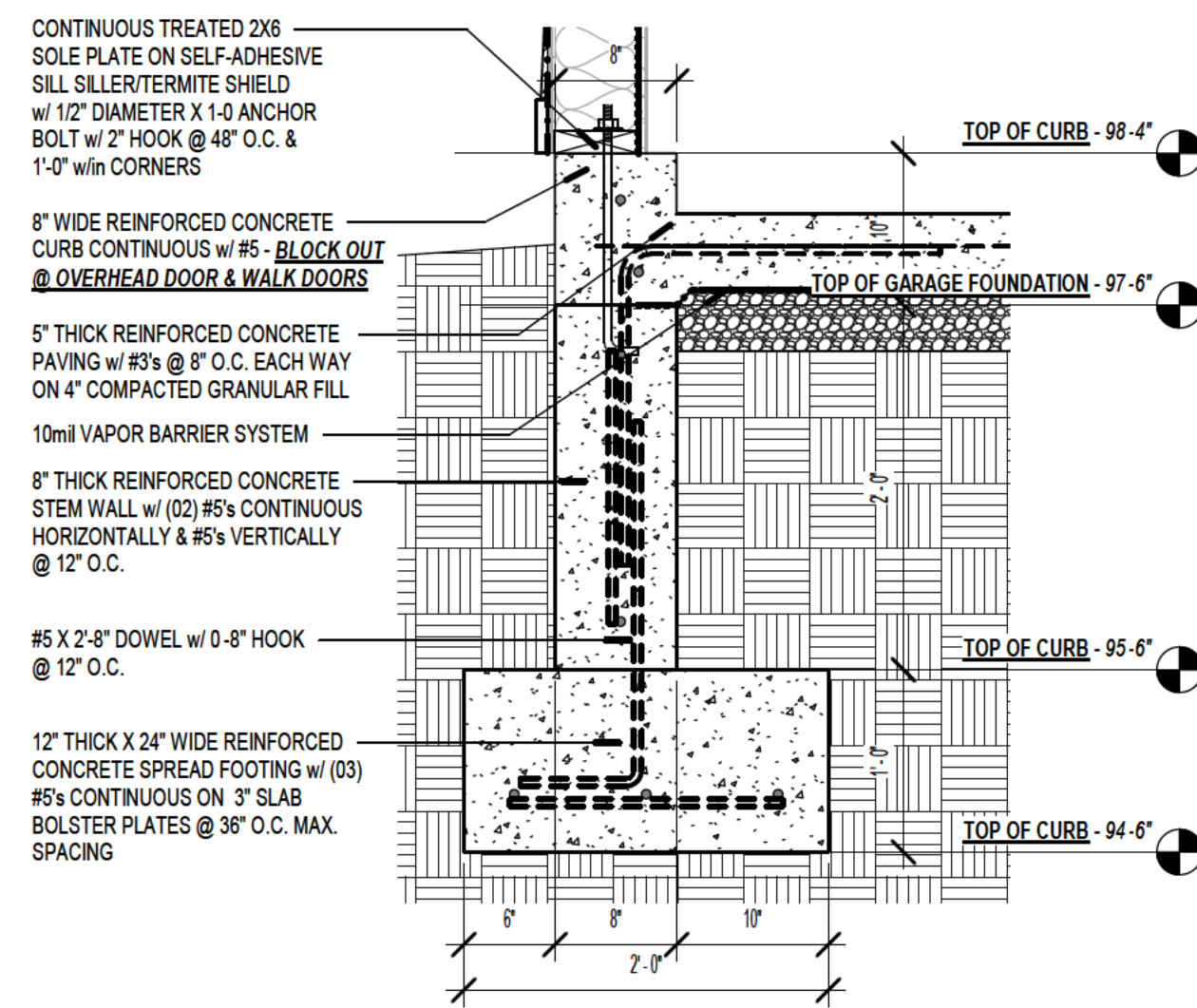
3 RETAINING WALL DETAIL - F2  
1" = 1'-0"



4 GARAGE FOUNDATION - F3  
1" = 1'-0"



5 GARAGE FOOTING - F4  
1" = 1'-0"



6 GARAGE FOOTING - F5  
1" = 1'-0"

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FOUNDATION  
PLAN

MANAGER: MDB  
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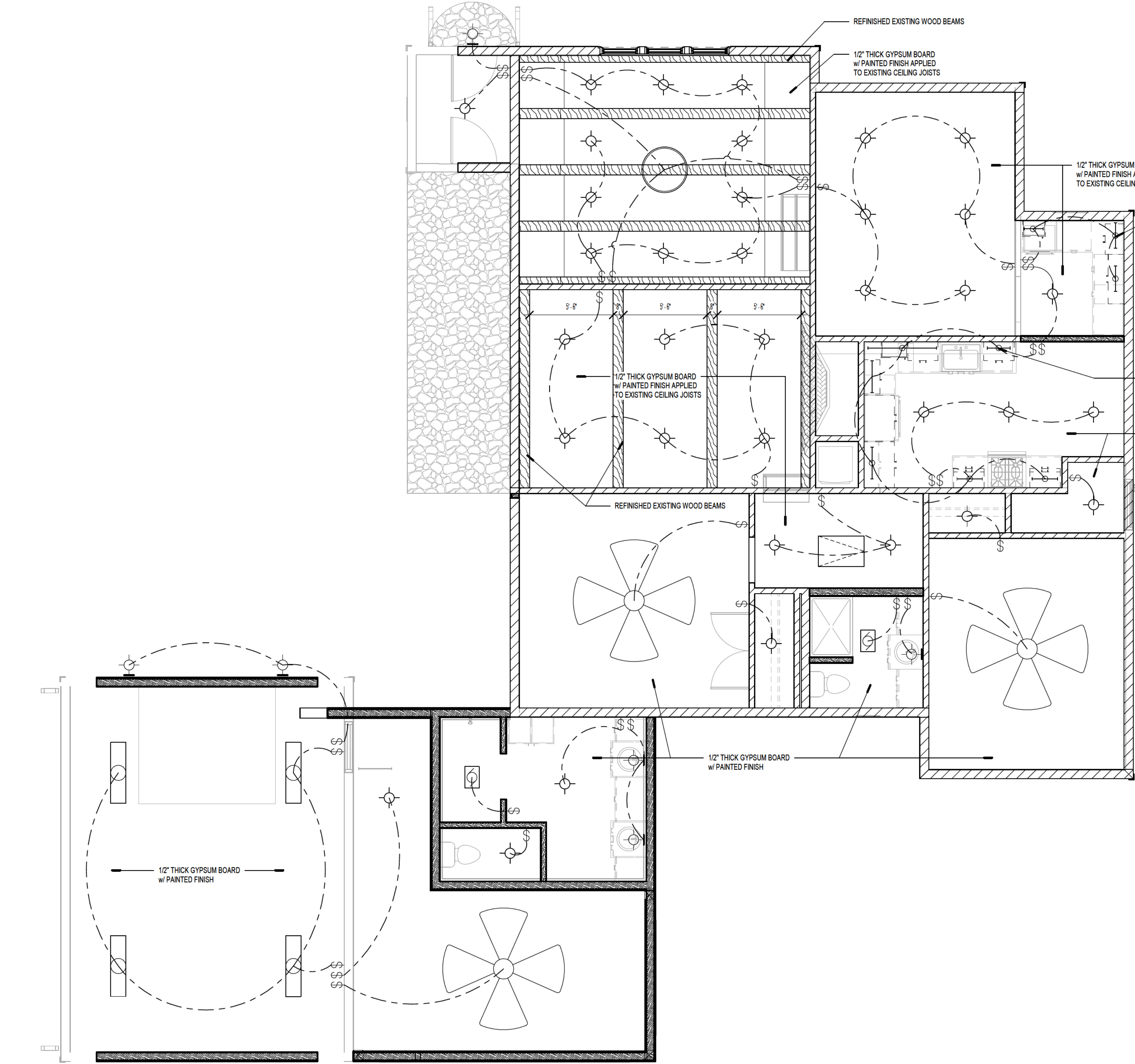
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A4



**1 REFLECTED CEILING PLAN**  
1/4" = 1'-0"

- UNDERCABINET LED LIGHTING
- ELECTRICAL LIGHT SWITCH
- CEILING MOUNTED LIGHT OR RECESSED LIGHT
- WALL MOUNTED LIGHT FIXTURE
- SEMI-RECESSED EXHAUST FAN w/ LIGHT
- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED CEILING FAN w/ LIGHT
- ATTIC ACCESS DOOR w/ LADDER EQ. TO WERNER AE2210 OR VEIVOR PULLED DOWN ATTIC STAIR

**REFLECTED CEILING PLAN**  
1/4" = 1'-0"



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**REFLECTED  
CEILING PLAN**

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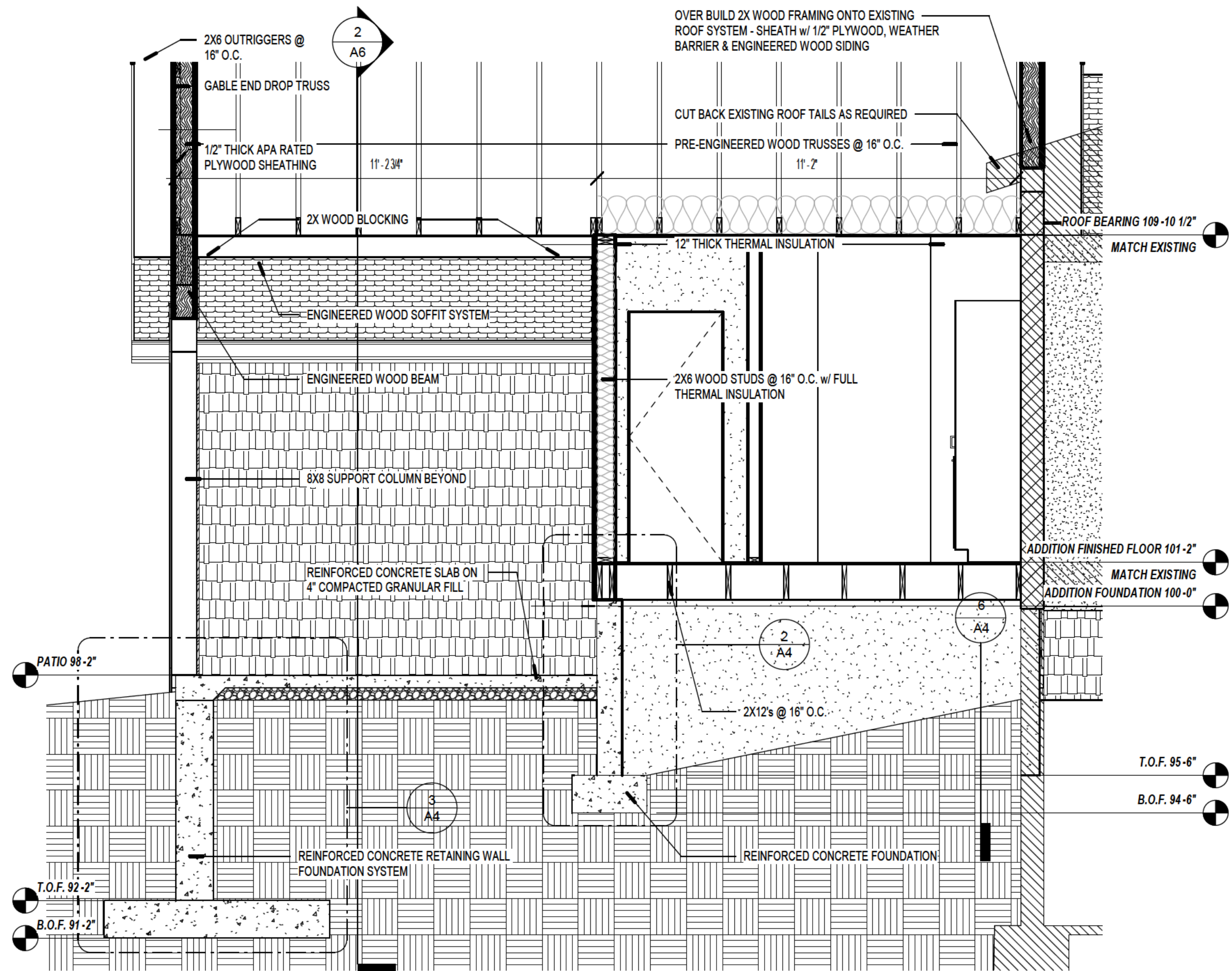
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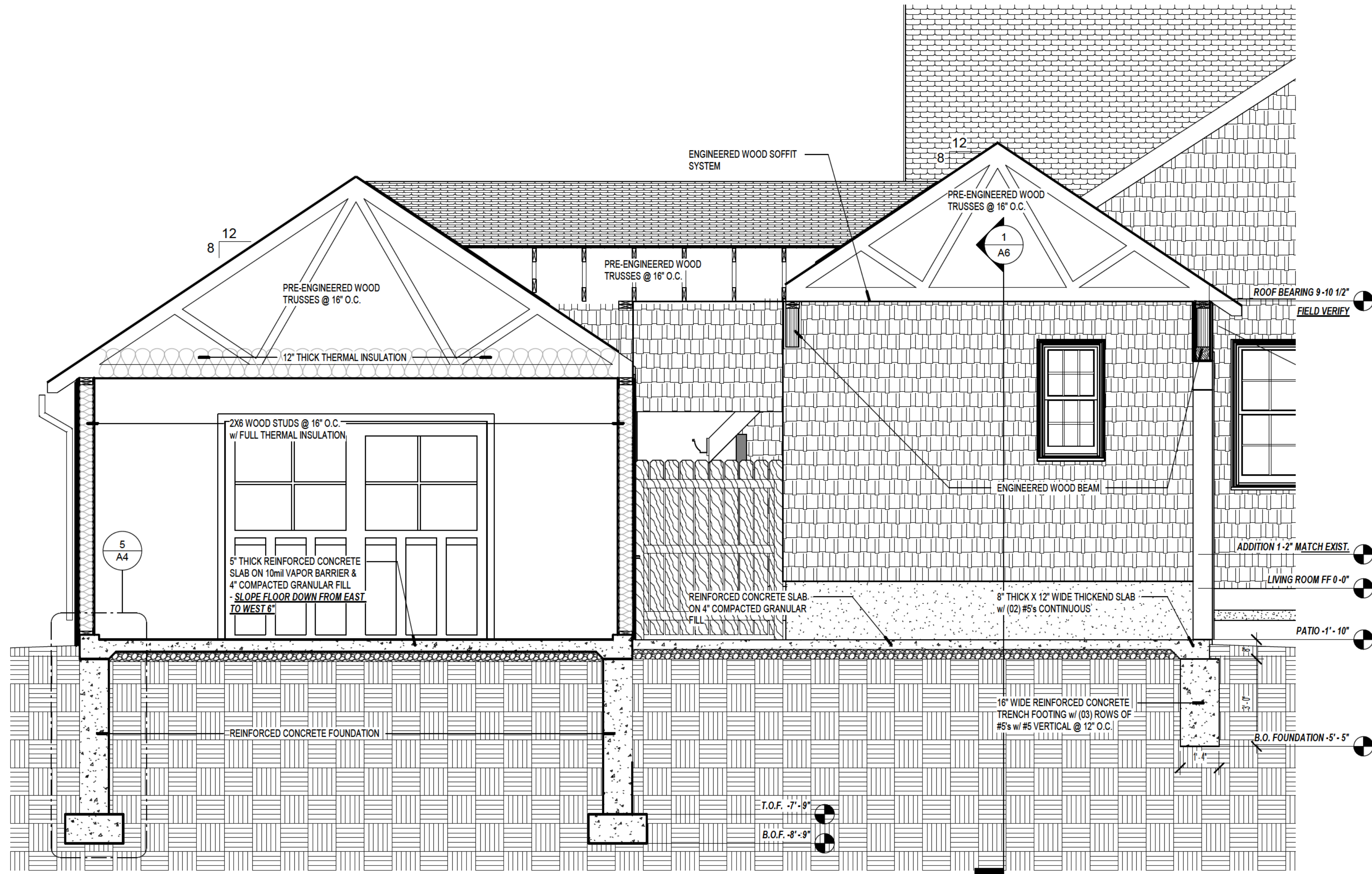
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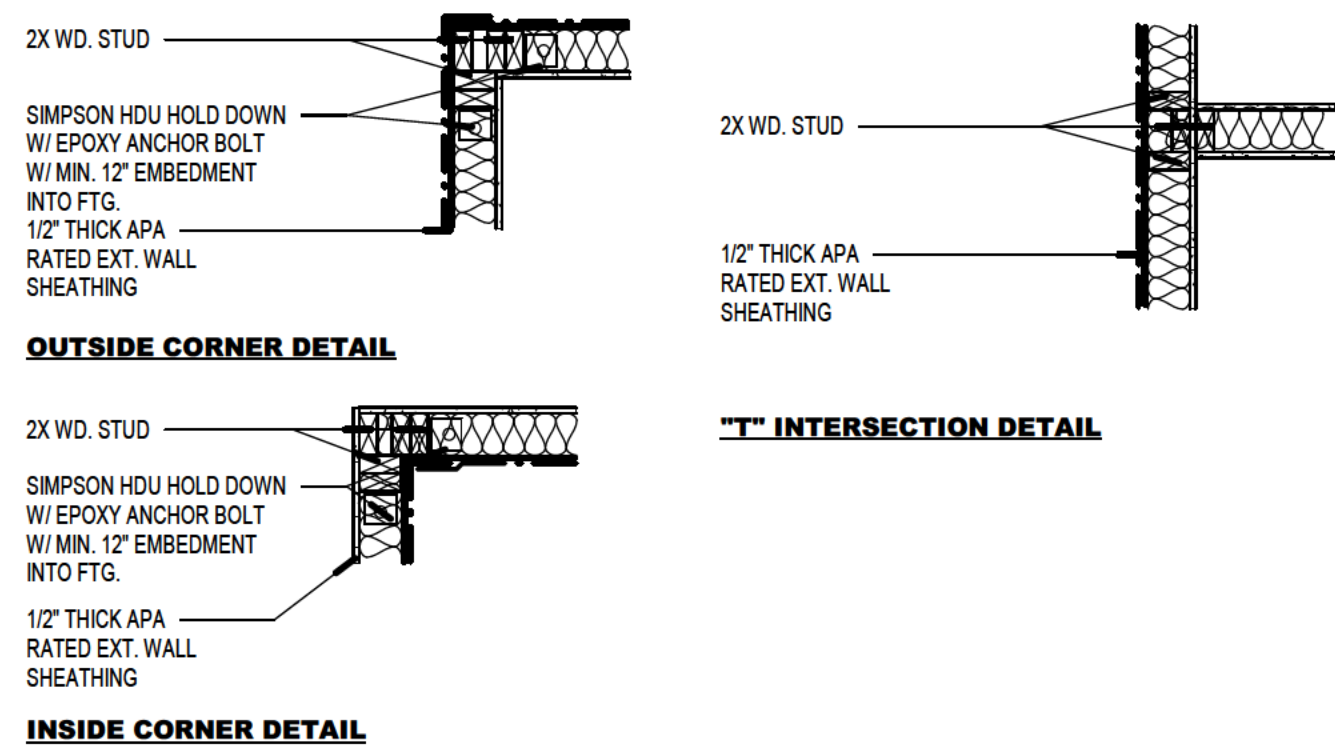
**A5**



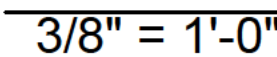
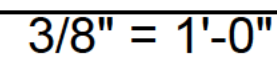
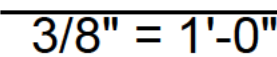
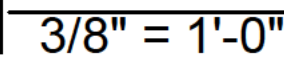
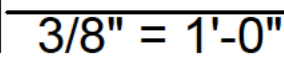
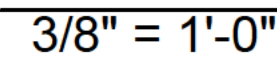
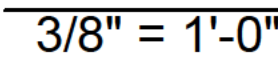
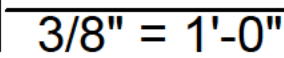
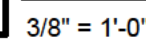
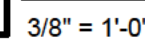
**1 SECTION AA**  
3/8" = 1'-0"

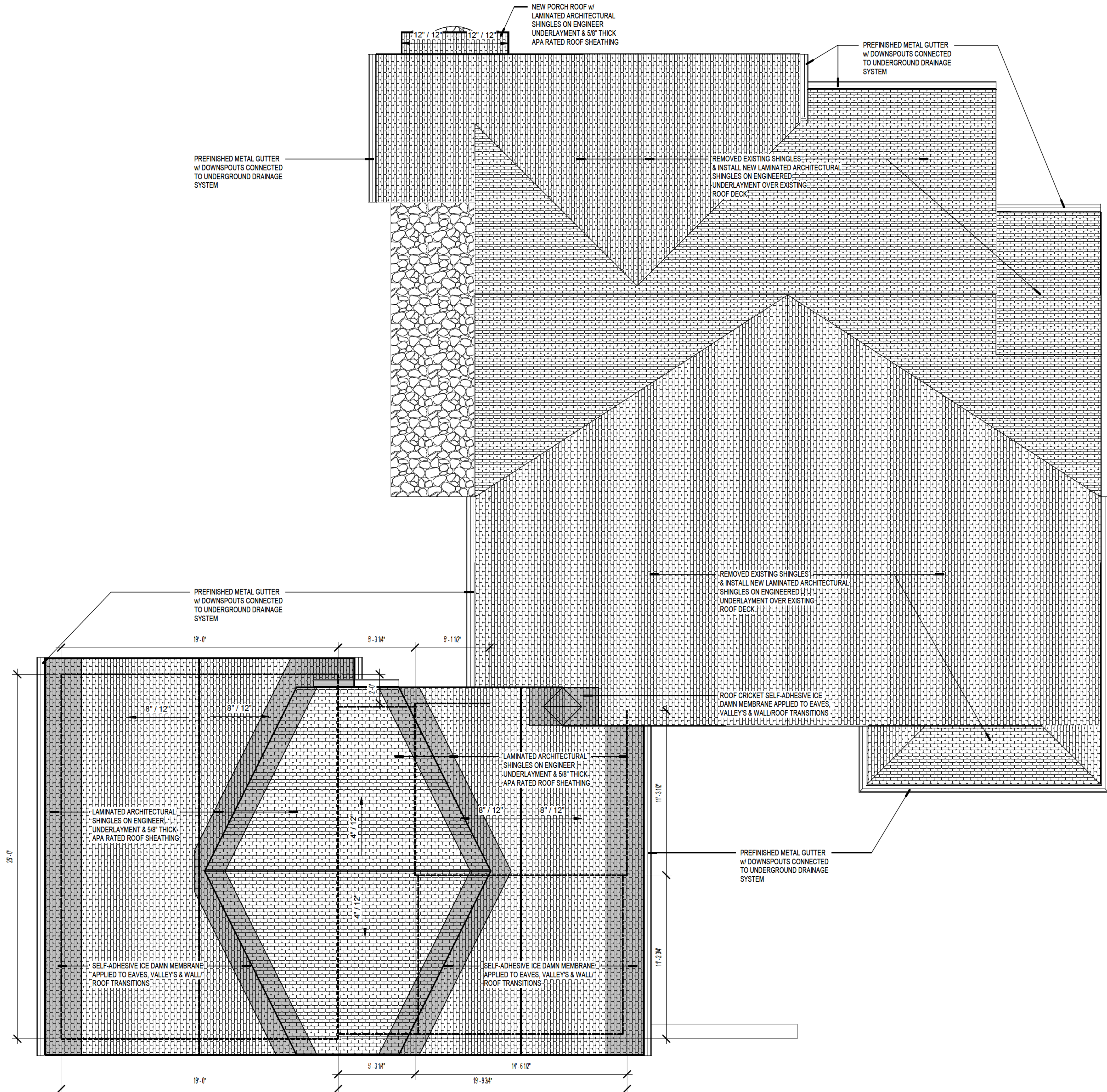


**2 SECTION BB**  
3/8" = 1'-0"



**3 WALL DETAILS**  
3/4" = 1'-0"





**1 ROOF PLAN**  
1/4" = 1'-0"



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**ROOF PLAN**

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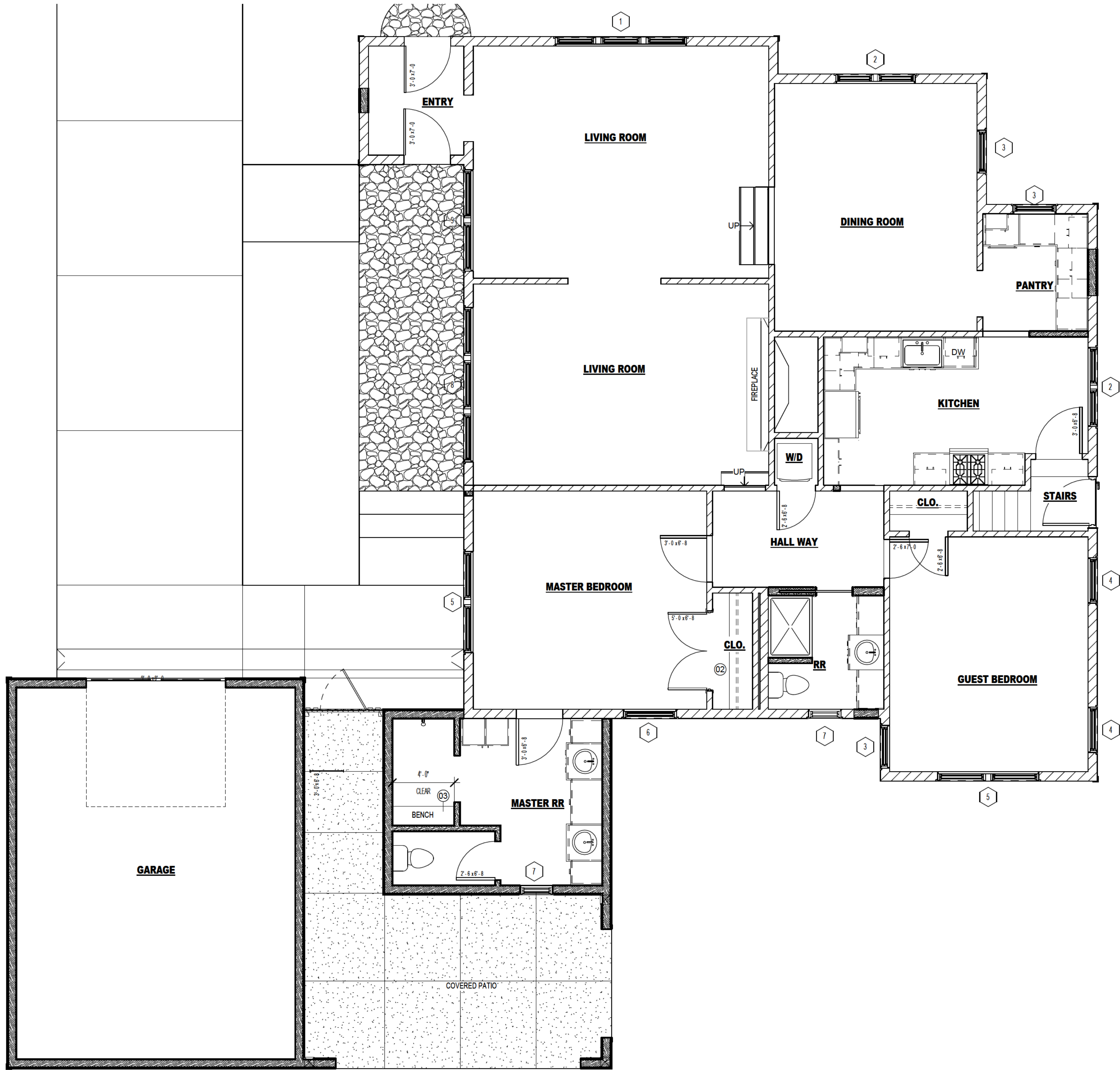
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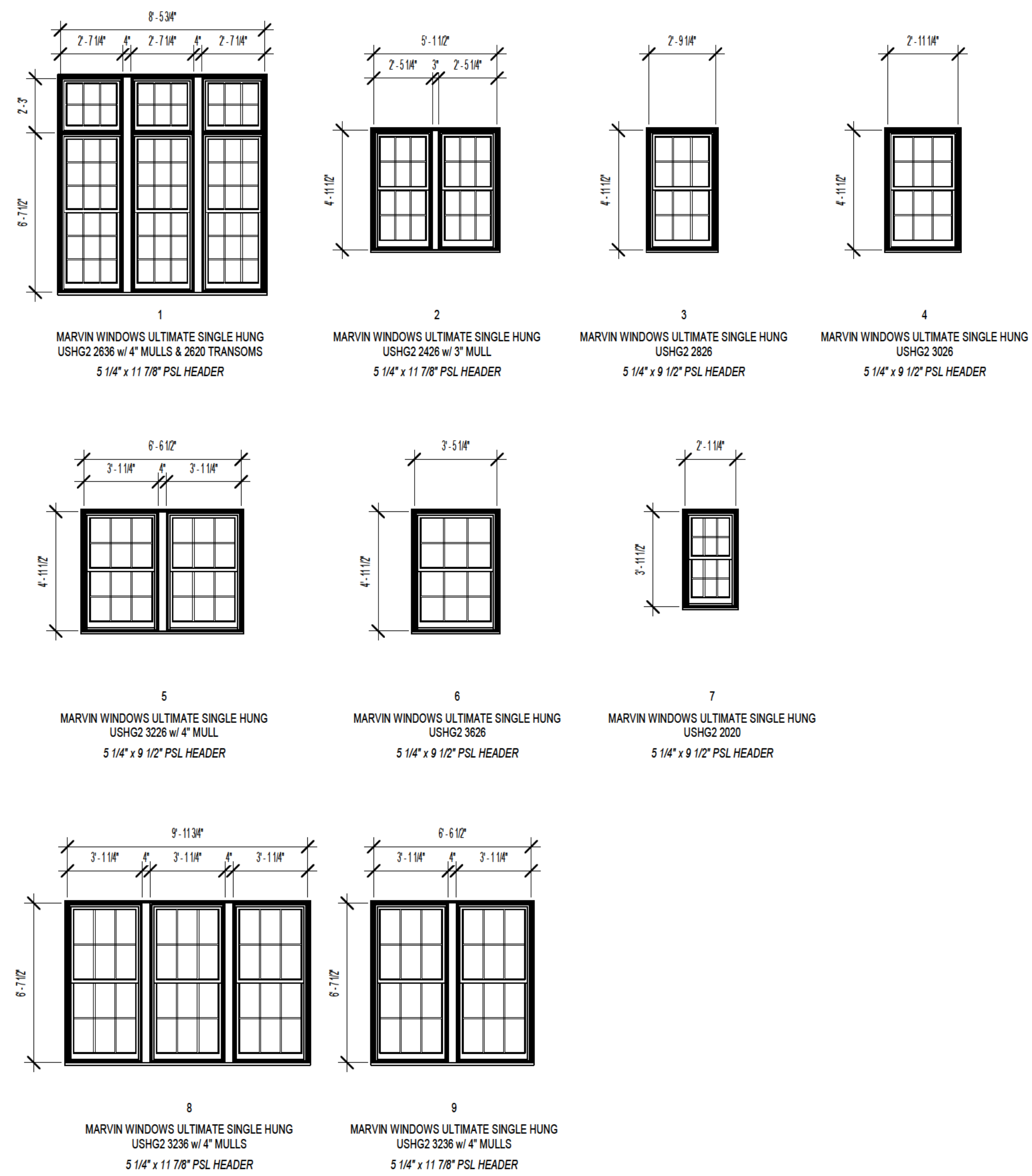
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**A8**



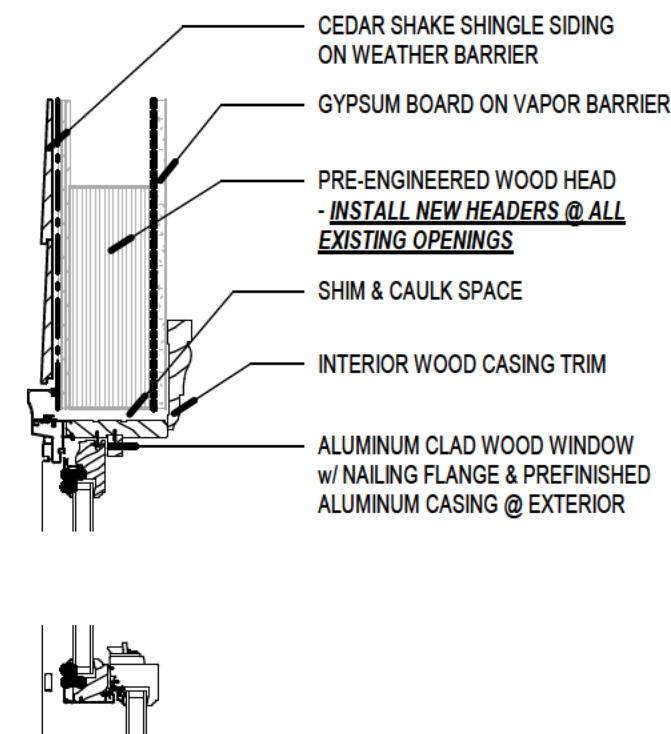
**1 WINDOW PLAN**  
1/4" = 1'-0"



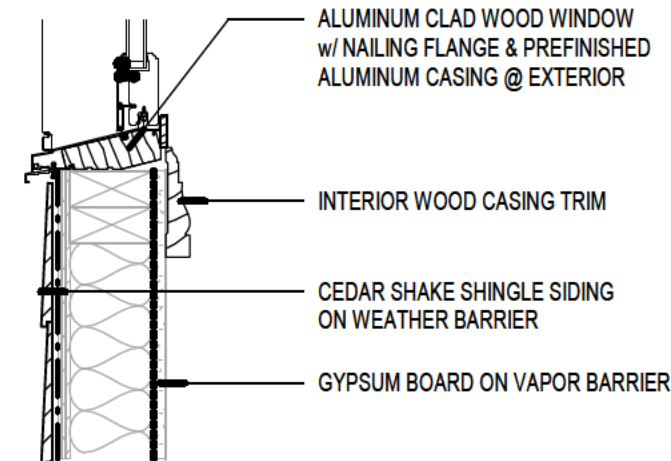
INSTALL NEW ENGINEER WOOD HEADER @ EACH EXISTING WINDOW OPENING

**WINDOW LEGEND**  
1/4" = 1'-0"

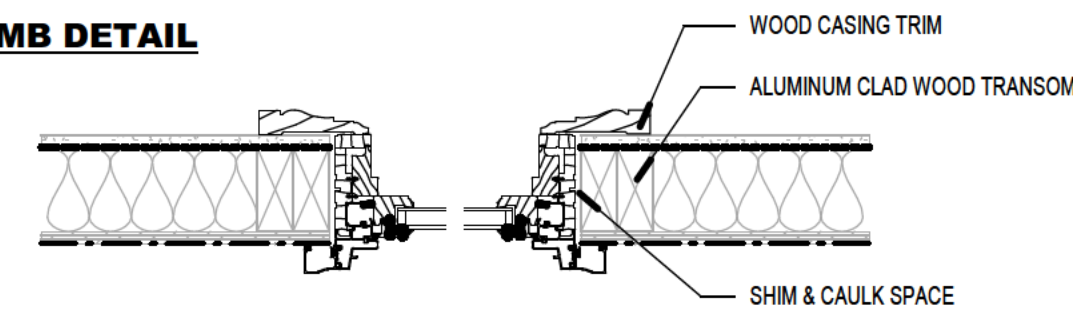
**HEAD DETAIL**



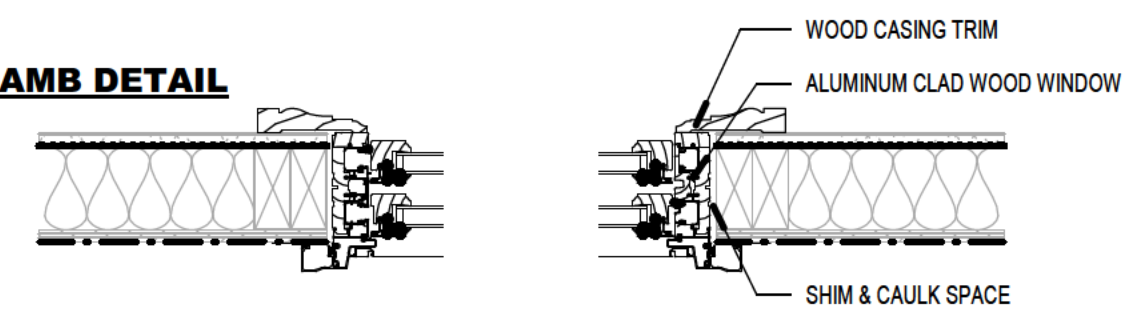
**SILL DETAIL**



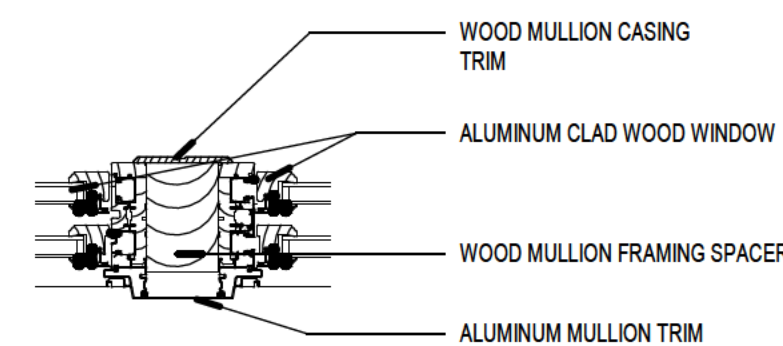
**TRANSOM JAMB DETAIL**



**WINDOW JAMB DETAIL**



**WINDOW JAMB MULLION DETAIL**



**2 WINDOW DETAILS**  
1 1/2" = 1'-0"

**WINDOW  
SCHEDULE &  
DETAILS**

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